# EXTERIOR TILE REPAIR REBID

# PROJECT LOCATION:

# **AUSTIN ENERGY DISTRICT COOLING PLANT II**

410 Sabine Street Austin, Texas 78704



# **CLIENT:**

# **Austin Energy**

721 Barton Springs Road Austin, Texas 78704

**CONTACT INFORMATION:** Mr. Bhasker Reddi, PE, PMP (512) 972-9546

# **CONSULTING ENGINEER:**

# WISS, JANNEY, ELSTNER ASSOCIATES, INC.

9511 North Lake Creek Parkway Austin, Texas 78717 512.257.4800 tel | 512.219.9883 fax

**TEXAS REGISTERED ENGINEERING FIRM F-0093** 

Austin, Texas 78717 512.257.4800 tel | 512.219.9883 fax

Princeton | San Francisco | Seattle | South Florida | Washington, D.C.



## **EXTERIOR TILE REPAIR**

# **Austin Energy District Cooling Plant II**

410 Sabine Street Austin, Texas 78704





# **Austin Energy**

Project Manager: Mr. Bhasker Reddi, PE, PMP Ph. 512-972-9546

Email: bhasker.reddi@austinenergy.com

No.	DATE	DESCRIPTION

WJE PROJECT No.:	2016.2948.0
IFB No:	CLMC 725A
ISSUE DATE:	APRIL 29, 2019
PROJECT MANAGER:	PAH
REVIEWED BY:	MPC
DRAWN BY:	FV
SCALE:	AS NOTED

# **COVER & SHEET INDEX**

SHEET No.:

**DRAWING SHEET INDEX** 

**PROJECT NOTES & INFORMATION** 

CITY OF AUSTIN STANDARD DETAILS **GLASS TILE INSTALLATION DETAILS** 

TILE PATTERN ELEVATIONS

**CONCRETE REPAIR DETAILS** 

**COVER & SHEET INDEX** 

SITE PLAN

A1.0

#### PROJECT GENERAL NOTES

#### **SCOPE OF PROJECT**

SCOPE OF WORK IS DEFINED BY THE DRAWINGS AND SPECIFICATIONS, AND INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO ACCOMPLISH THE WORK. THE SCOPE GENERALLY INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

1. REMOVAL OF EXISTING GLASS TILE CLADDING AND THICKENED MORTAR BACKUP AT EAST ELEVATION.

2. REMOVAL AND REPLACEMENT OF CONCRETE SIDEWALK AT NORTH AND EAST ELEVATIONS.

3. CONCRETE WALL REPAIRS AT EAST ELEVATION.

4. REPLACEMENT OF GLASS TILE CLADDING AT EAST ELEVATION INCLUDING CONTROL JOINTS AS SHOWN.

#### STRUCTURAL NOTES

#### CODES

THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE FOLLOWING CODES, AS ADOPTED BY THE CITY OF AUSTIN:

1. THE INTERNATIONAL EXISTING BUILDING CODE, 2015 EDITION.

2. STRUCTURAL CONCRETE: BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, AMERICAN CONCRETE INSTITUTE, ACI 318-14.

3. STRUCTURAL STEEL: CODE OF STANDARD PRACTICE, AND SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, AMERICAN INSTITUTE OF STEEL CONSTRUCTION (LATEST EDITION).

4. STRUCTURAL MASONRY: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES, ACI 530.

5. ALL CODES AND SPECIFICATIONS LISTED ABOVE SHALL INCLUDE ALL AMENDMENTS AND ADDENDA IN FORCE AT THE DATES OF THE CONTRACT DOCUMENTS. WHERE CONFLICT EXISTS BETWEEN THE VARIOUS PUBLICATIONS AS SPECIFIED HEREIN, THE STRICTEST REQUIREMENTS OF THE VARIOUS PUBLICATIONS SHALL GOVERN UNLESS NOTED OTHERWISE. WHERE CONFLICT EXISTS AMONG THE VARIOUS PARTS OF THE CONTRACT DOCUMENTS, DRAWINGS, NOTES, SPECIFICATIONS, THE STRICTEST REQUIREMENTS SHALL GOVERN.

#### DESIGN LOADS

1. DEAD LOADS INCLUDE THE SELF-WEIGHT OF THE STRUCTURAL AND ARCHITECTURAL ELEMENTS. ANY CHANGES FROM THE CONSTRUCTION MATERIALS FROM THOSE SHOWN ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS SHALL BE REPORTED BY THE GENERAL CONTRACTOR TO THE STRUCTURAL ENGINEER FOR VERIFICATION OF THE LOAD CARRYING CAPACITY OF THE STRUCTURE.

#### DEMOLITION

1. REFERENCE SPECIFICATION SECTION 02 41 00 AND SECTION 01505 FOR ADDITIONAL INFORMATION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING STRUCTURE AND SURROUNDING BUILDINGS DURING CONSTRUCTION. THE CONTRACTOR WILL REPLACE ANY DAMAGED MEMBER OF THE STRUCTURE OR ADJACENT STRUCTURE AS DIRECTED BY THE ENGINEER AT NO EXTRA COST TO THE OWNER.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HANDLING, STORAGE, HAULING AND REMOVAL OF THE MATERIALS TO BE REMOVED.

#### CONCRETE REPAIR

1. REFERENCE SECTION 03 01 30 AND SECTION 03 01 35 OF THE TECHNICAL SPECIFICATIONS FOR COMPLETE CONCRETE REPAIR REQUIREMENTS. NOTE THAT CONCRETE FOR SIDEWALKS (SECTION 432S) AND CONCRETE FOR STRUCTURES (SECTION 403S) ARE NOT APPLICABLE FOR THIS REPAIR WORK

#### 2. REQUIRED MATERIAL PROPERTIES:

- A. USE SELF-CONSOLIDATING CONCRETE OR SHOTCRETE FOR WALL BUILD-OUT GREATER THAN  $^3\!\!/^{\!\!\!\!4}$  THICK AS SPECIFIED.
- B. USE TROWELLED REPAIR MATERIAL AT SHALLOW DEPTH WALL REPAIR LESS THAN  $^3\!\!4''$  THICK
- C. COMPRESSIVE STRENGTH AT 28 DAYS: 4,000PSI

#### 3. FORMWORK AND CURING:

- A. STRIP FORMS (WHERE USED) NO EARLIER THAN 48 HOURS AFTER CONCRETE IS PLACED.
- B. MAINTAIN FORM SURFACES IN MOIST CONDITION
- C. MOIST CURE CONCRETE AFTER FORMS ARE STRIPPED TO ACHIEVE 3-DAY TOTAL CURE PERIOD MINIMUM
- D. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. MAINTAIN CONCRETE ABOVE 55 DEGREE F AND IN MOIST CONDITION FOR AT LEAST 3 DAYS AFTER PLACING.
- E. FOLLOW CURING REGIMEN RECOMMENDED BY MANUFACTURER OR DEVELOPED IN PRECONSTRUCTION TESTING.

#### EAST ELEVATION:

#### 1. WALL TILE REPAIRS:

- A. REMOVE EXISTING TILE AS TO REUSE INTACT TILES IF POSSIBLE. COORDINATE STORAGE OF TILE WITH OWNER.
- B. REMOVE EXISTING TILE, SETTING MORTAR, WATERPROOFING, AND THICKENED MORTAR BACKUP AS REQUIRED TO EXPOSE STRUCTURAL CONCRETE SUBSTRATE.
- C. PERFORM CONCRETE REPAIRS TO SUBSTRATE AS SHOWN AND SPECIFIED TO PROVIDE PLUMB WALL SURFACE AND TO INTEGRATE FLUSH WITH EXISTING TILE AT NORTH CORNER
- D. CLEAN NEW AND EXISTING SUBSTRATES IN PREPARATION FOR INSTALLATION OF NEW GLASS TILE SYSTEM.
- E. INSTALL NEW SETTING BED AND GLASS TILE TO MATCH EXISTING PATTERNING. NEW TILE TO INTEGRATE FLUSH WITH EXISTING TILE AT NORTH CORNER AND AT UPPER CMU TRANSITION.
- G. INSTALL ELASTOMERIC JOINT SEALANT AT PERIMETER OF TILE, AT CONTROL JOINT LOCATIONS, AND AT ALL OTHER AREAS INDICATED ON DRAWINGS.

#### COORDINATION

1. THE CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES AND BRING ANY CONFLICTS TO THE ENGINEER'S ATTENTION PRIOR TO THE WORK BEING PERFORMED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF CORRECTIONS ASSOCIATED WITH THE CONTRACTOR'S FAILURE TO PROPERLY COORDINATE THE WORK.

#### DOCUMENTATION OF PRE-CONSTRUCTION CONDITIONS

1. THE CONTRACTOR SHALL PHOTOGRAPH AND/OR VIDEO DOCUMENT AND TAKE WRITTEN NOTES OF EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK ON THE SITE. COPIES OF ALL DOCUMENTATION TO BE PRESENTED TO THE OWNER/ENGINEER PRIOR TO COMMENCING WORK.

#### **FAMILIARITY WITH CONDITIONS**

1. THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND BECOME FULLY ACQUAINTED WITH THE EXISTING CONDITIONS RELATING TO THE LABOR AND CONSTRUCTION, THE FACILITIES INVOLVED, THE DIFFICULTIES, RESTRICTIONS, AND LOGICAL EXTENSIONS OF THE SCOPE ATTENDING THE PERFORMANCE OF THE CONTRACT.

2. THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND BECOME FAMILIAR WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

#### **EXISTING CONDITIONS**

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. DIMENSIONS SHOWN ON THE PLANS ARE APPROXIMATE. FIELD MEASUREMENTS WILL BE REQUIRED TO COMPLETE THE WORK. CONTRACTOR SHALL OBTAIN ALL FIELD MEASUREMENTS AS NECESSARY TO COORDINATE WITH AND MATCH NEW CONSTRUCTION TO EXISTING CONDITIONS.

2. SOME INFORMATION ON THESE DRAWINGS REGARDING EXISTING FEATURES IS NECESSARILY CONJECTURAL DUE TO HIDDEN CONDITIONS AT THE TIME OF PREPARATION. IF CONDITIONS EXIST THAT DIFFER FROM THE DRAWINGS OR ARE NOT ADEQUATELY DETAILED, INFORM THE ENGINEER AND ADDITIONAL DETAILS OR INTERPRETATION WILL BE PROVIDED. DO NOT PROCEED WITHOUT VERIFICATION FROM THE ENGINEER.

#### **USE OF THE PREMISES**

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY RIGHT-OF-WAY AND BUILDING PERMITS FROM CITY OF AUSTIN PRIOR TO START OF WORK. NO DEDICATED ON-SITE LOCATION IS AVAILABLE FOR CONTRACTOR PARKING OR FIELD OFFICE.

2. ALL SITE LOGISTICS SHALL BE WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE.

3. EQUIPMENT ACCESS TO BE SCHEDULED WITH OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE.

4. TYPICAL HOURS OF WORK: 8:00 AM - 5:00 PM - MONDAY - FRIDAY, UNLESS ARRANGEMENTS MADE WITH OWNER'S REPRESENTATIVE. PRIOR TO COMMENCING WORK, COORDINATE HOURS OF WORK WITH THE OWNER OR OWNER'S REPRESENTATIVE TO MINIMIZE IMPACT TO THE BUILDING'S DAILY OPERATIONS.

5. SIDEWALK ADJACENT TO WORK TO BE CLOSED FOR DURATION OF WORK. MAINTAIN PUBLIC ACCESS TO DCPII ENTRANCE SOUTH OF WORK AREA FOR DURATION OF PROJECT.

6. PROVIDE REGULAR SITE CLEAN UP. STORE MATERIALS IN A NEAT AND ORDERLY MANNER.

7. DO NOT PLACE LOADS ON THE STRUCTURE OR STORE DEMOLISHED MATERIALS ON THE STRUCTURE IN A MANNER THAT WILL ENDANGER IT.

8. WORKERS SHALL BE PROPERLY DRESSED AND DISPLAY APPROPRIATE BEHAVIOR AT ALL TIMES IN CONSTRUCTION AND ADJACENT AREAS.

9. REPAIR / RESTORE DAMAGED LAWN OR OTHER LANDSCAPING AT COMPLETION OF THE WORK AT NO COST TO OWNER.

#### TEMPORARY FACILITIES

1. COORDINATE LOCATION AND PLACEMENT OF MATERIAL STORAGE, PORTABLE TOILET, DUMPSTERS, ETC. WITH OWNER PRIOR TO CONSTRUCTION. NO SPACE HAS BEEN ALLOTTED FOR A TEMPORARY FIELD OFFICE.

#### SAFETY

CONSTRUCTION.

CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND MEANS AND METHODS OF

2. PERFORM ALL WORK IN A SAFE AND CONSCIENTIOUS MANNER TO PREVENT INJURIES.

3. CONTRACTOR SHALL MAINTAIN OSHA STANDARDS FOR JOB SAFETY AND WORKER PROTECTION, INCLUDING, BUT NOT LIMITED TO ADEQUATE FALL PROTECTION, ERECTION BRACING, BARRICADES, SIGNS, ETC.

4. THE CONTRACTOR SHALL PROVIDE WARNING SIGNS, BARRIERS OR BARRICADES, AS REQUIRED AND OTHERWISE NECESSARY TO SEPARATE THE WORK AREAS FROM THE PUBLIC, TO PREVENT PEDESTRIANS AND TRAFFIC FROM ENTERING THE WORK AREAS, AND TO PROVIDE FOR SAFE AND ORDERLY FLOW OF PEDESTRIAN AND VEHICLE TRAFFIC THROUGH REQUIRED ENTRANCES AND EXITS DURING THE REPAIR WORK. COORDINATE AND OBTAIN ALL NECCESSARY PERMITS WITH THE CITY OF AUSTIN.

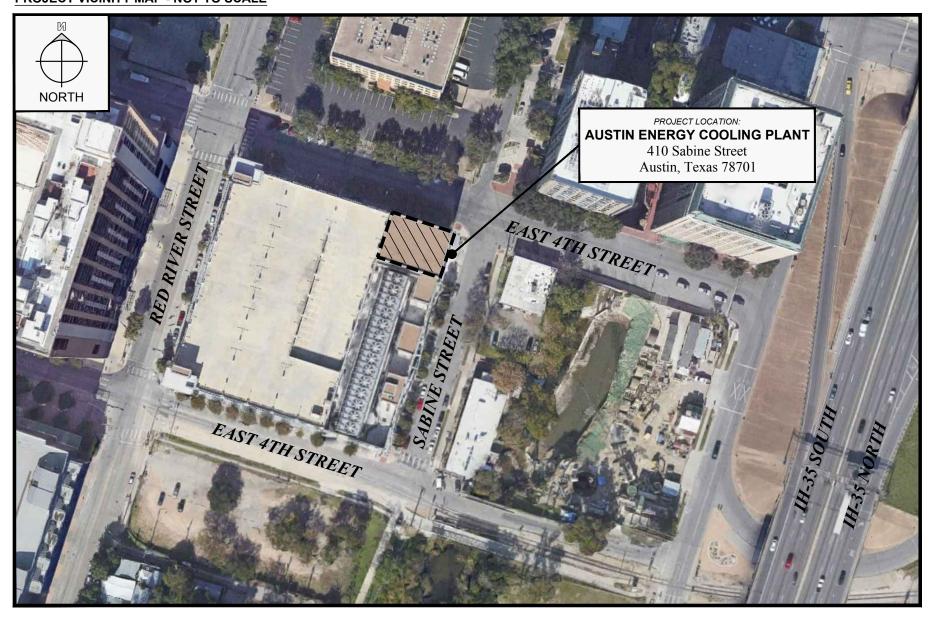
#### PROTECTION OF THE LANDSCAPE

1. CONTRACTOR SHALL PROTECT ALL SITE FEATURES INCLUDING, BUT NOT LIMITED TO, EXISTING TREES, PLANTS, GRADE, SIDEWALKS, ETC. AS INDICATED ON THE DRAWINGS.

2. CONTRACTOR SHALL LIMIT THEIR ACTIVITIES ON SITE TO THE STAGING AREAS AND WORK AREAS APPROVED BY THE OWNER.

3. CONTRACTOR SHALL SECURE ALL CONSTRUCTION MATERIALS AGAINST THEFT AND TO ENSURE MATERIALS DO NOT BECOME WINDBORNE OR CAUSE INJURY TO BUILDING TENANTS OR

#### PROJECT VICINITY MAP - NOT TO SCALE



#### SITE MAINTENANCE

1. MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH.

2. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION. AREAS USED AS PATHWAYS TO TRANSPORT MATERIALS OR TO REMOVE TRASH THAT ARE NOT DIRECTLY UNDER CONSTRUCTION ARE TO BE KEPT CLEAN. THIS SHALL INCLUDE BUT NOT BE LIMITED TO DUSTING, SWEEPING, AND MOPPING.

#### **QUALITY ASSURANCE**

1. WHERE APPLICABLE, THE CONTRACTOR SHALL BE A LICENSED APPLICATOR OR INSTALLER OF ALL SPECIFIED PROPRIETARY PRODUCTS AND MATERIALS.

2. THE ENGINEER'S OR TESTING AGENCY'S PRESENCE AT JOBSITE DOES NOT RELIEVE CONTRACTOR OF THE OBLIGATION TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

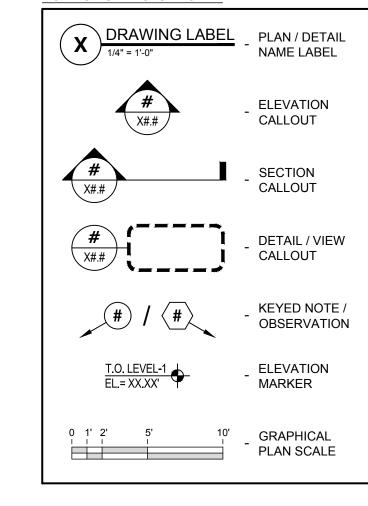
#### WARRANTY

1. ALL WORK SHALL BE WARRANTED BY THE GENERAL CONTRACTOR, AS REQUIRED BY THE CONTRACT.

#### PROJECT ABBREVIATIONS

& ^ = =	AROVE FINISH ELOOP
A.F.F. ADD'L.	ABOVE FINISH FLOOR ADDITIONAL(LY)
ADD'L. APPROX.	APPROXIMATE
ARCH.	ARCHITECT
ARCH'L.	ARCHITECTURAL
A/C B.F.F.	AIR CONDITIONER BELOW FINISH FLOOR
в.г.г. В.О.	BOTTOM OF
B.O.C.	" " CONCRETE
B.O.S.	" " SLAB
B.O.W.	" " WALL
<u> </u>	CENTERLINE
C.O.A. CONC.	CITY OF AUSTIN CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT.	CONTINUOUS(LY)
C.J.	CONSTRUCTION JOINT
d	PENNY (NAIL SIZE)
DL DIAG.	DEAD LOAD DIAGONAL
DIAG. DIA.	DIAMETER
DIM(S).	DIMENSION(S)
DS	DOWN SPOUT
DBL.	DOUBLE
DN EA.	DOWN EACH
	EACH FACE
	EACH WAY
EL. or ELEV.	ELEVATION
ELEC.	ELECTRIC(AL)
EQ.	EQUAL(LY)
EQUIP. EXP.	EQUIPMENT EXPANSION
EXT.	EXTERIOR
F.F.	FINISH FLOOR
	FLOOR DRAIN
	FIELD VERIFY
GA. GALV.	GAGE OR GAUGE GALVANIZED
GWB	GYPSUM WALL BOARD
H.D.	HOT-DIP (GALVANIZING)
HSA Lee	HEADED STUD ANCHOR HOLLOW STEEL SECTION
HSS HORIZ.	HORIZONTAL
NFO.	INFORMATION
NT.	INTERIOR
ζ	KIPS (1000 lbs.) KIPS PER LINEAR FOOT
KLF KSF	KIPS PER SQUARE FOOT
LL	LIVE LOAD
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LSL MFR.	LONG SLOTTED HOLE MANUFACTURE(D)(R)
MAX.	MAXIMUM
MECH.	MECHANICAL(LY)
MIN.	MINIMUM
MISC. N.I.C.	MISCELLANEOUS NOT IN CONTRACT
N.T.S.	NOT TO SCALE
No. or #	NUMBER
O.C.	ON CENTER
O.H. or OPP. OSB	OPPOSITE HAND ORIENTED STRAND BOARD
OVS	OVERSIZED HOLE
ь.	PLATE
PERP. P.T.	PERPENDICULAR PRESERVATIVE TREATED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
₹	RADIUS
REINF.	REINFORCE(D) (MENT) (ING)
REQ'D. RTU	REQUIRED ROOF TOP UNIT
SCHED.	SCHEDULE(D)
SIM.	SIMILAR(LY)
SPEC'D. SF	SPECIFIED
S.S.	SQUARE FEET STAINLESS STEEL
STD.	STANDARD
STRUCT'L.	STRUCTURAL
TEMP. T.O.	TEMPORAR(Y) (ILY) TOP OF
T.O. T.O.B.	" " BEAM
T.O.C.	" " CONCRETE
T.O.F.F.	" " FINISH FLOOR
T.O.S. T.O.W.	" " SLAB " " WALL
T.O.W. TYP.	TYPICAL(LY)
J.N.O.	
	UNLESS NOTED OTHERWISE
WWF	WELDED WIRE FABRIC

#### COMMON SYMBOLS LEGEND



# ENGINEERS ARCHITECTS MATERIALS SCIENTIST

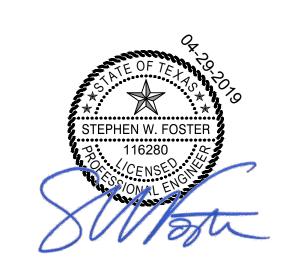
#### Wiss, Janney, Elstner Associates, Inc.

9511 N. Lake Creek Parkway Austin, Texas 78717 512.257.4800 tel | 512.219.9883 fax

# TEXAS REGISTERED ENGINEERING FIRM F-0093

Headquarters & Laboratories: Northbrook, Illinois
Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York
Princeton | San Francisco | Seattle | South Florida | Washington, D.C.

SEAL:

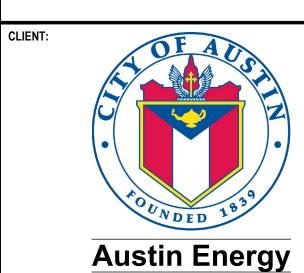


PROJECT:

### **EXTERIOR TILE REPAIR**

# Austin Energy District Cooling Plant II 410 Sabine Street

Austin, Texas 78704



Project Manager: Mr. Bhasker Reddi, PE, PMP
Ph. 512-972-9546

Email: bhasker.reddi@austinenergy.com

No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
WJE PR	OJECT No.:	2016.2948.0

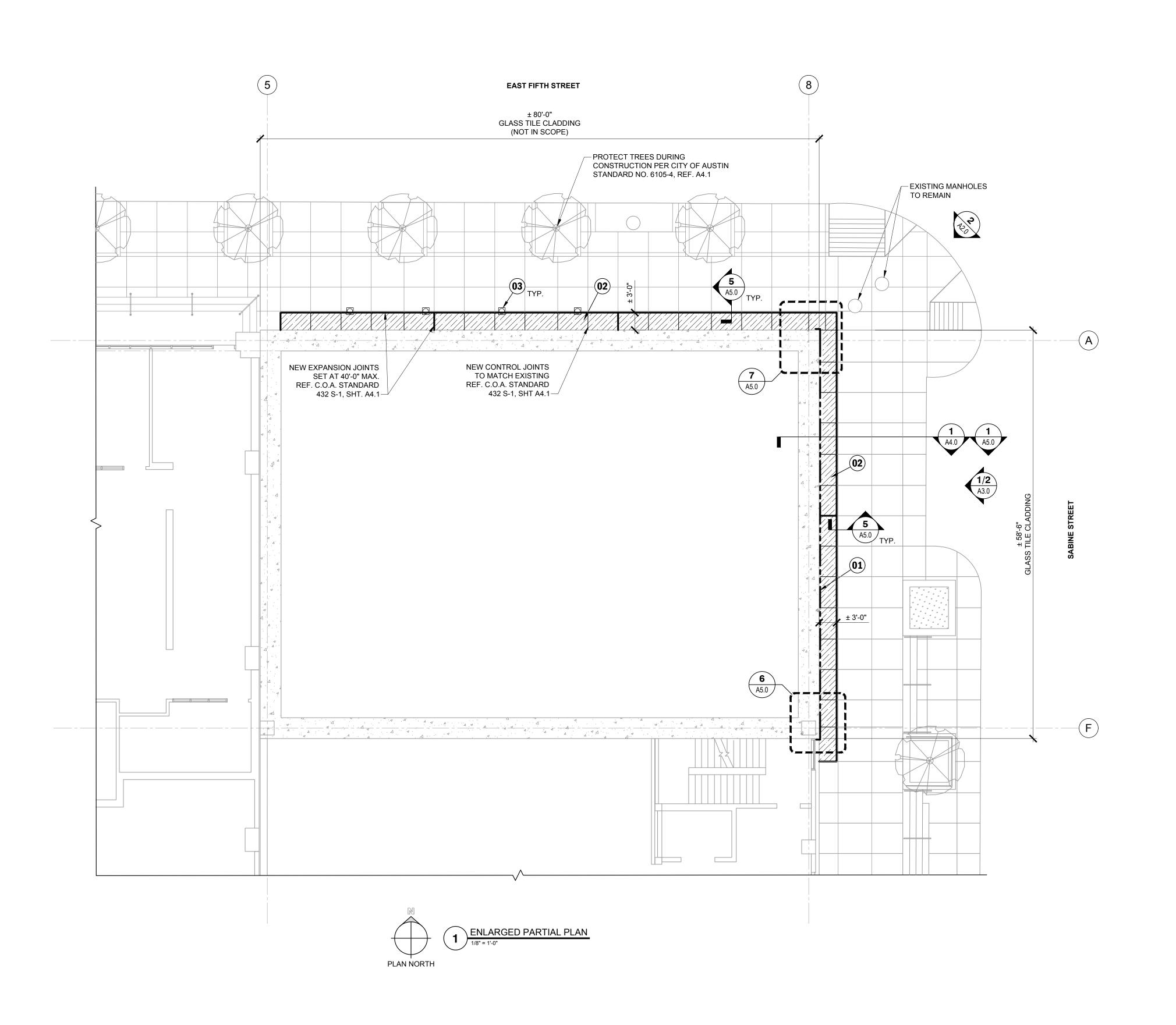
/JE PROJECT No.:	2016.2948.0	
B No:	CLMC 725A	
SSUE DATE:	APRIL 29, 2019	
ROJECT MANAGER:	PAH	
EVIEWED BY:	MPC	
RAWN BY:	FV	
CALE:	AS NOTED	

# PROJECT NOTES & INFORMATION

LE:

SHEET No.:

**A**1.



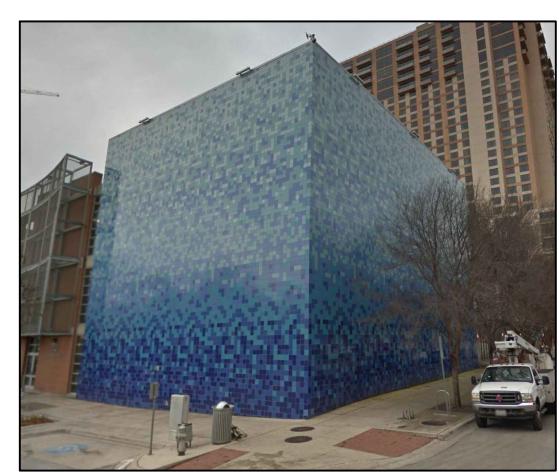
#### REPAIR KEYNOTES

- REMOVE EXISTING TILE AND MORTAR BACKUP. PERFORM CONCRETE REPAIRS AND REPLACE TILE AS SPECIFIED.
- REMOVE AND REPLACE EXISTING SIDEWALK AS SPECIFIED. MATCH EXPANSION AND CONTROLS JOINT LOCATIONS TO EXISTING.
- REMOVE EXISTING LIGHT FIXTURE AND CAP OFF ABANDONED WIRING AS REQUIRED. REPAIR CONCRETE SIDEWALK PER DETAILS.

# - EXTENTS OF SIDEWALK TO BE REMOVED AND REPLACED. - NEW CONTROL JOINTS, REF. DETAIL 5/A4.0 - NEW EXPANSION JOINTS, REF. DETAIL 5/A4.0 OR C.O.A. STANDARD NO. 432 S-1, SHT. A4.1 - AREA OF TILE REPAIR AND REPLACEMENT

#### SIDEWALK CONTROL & EXPANSION JOINT NOTES

- 1. FIELD VERIFY AND DOCUMENT EXISTING CONTROL AND EXPANSION JOINT LAYOUT.
- 2. NEW JOINTS SHALL MATCH EXISTING LAYOUT.
- 3. UNLESS NOTED OTHERWISE, JOINTS SHALL BE PARALLEL TO EACH ADJACENT JOINT.
- 4. JOINTS SHALL INTERCEPT THE FEATURE OR JOINT WHERE IT TERMINATES AT A PERPENDICULAR ANGLE.



GLASS TILE EAST/NORTH ELEVATIONS
NOT TO SCALE

# ENGINEERS ARCHITECTS MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc. 9511 N. Lake Creek Parkway

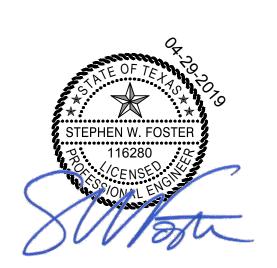
Austin, Texas 78717

## 512.257.4800 tel | 512.219.9883 fax

Headquarters & Laboratories: Northbrook, Illinois
Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York
Princeton | San Francisco | Seattle | South Florida | Washington, D.C.

**TEXAS REGISTERED ENGINEERING FIRM F-0093** 

SEAL

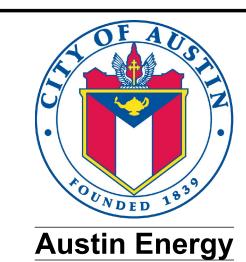


PROJECT:

# **EXTERIOR TILE REPAIR**

# Austin Energy District Cooling Plant II 410 Sabine Street Austin, Texas 78704

CLIENT:



Project Manager: Mr. Bhasker Reddi, PE, PMP Ph. 512-972-9546

Email: bhasker.reddi@austinenergy.com

I	No.	DATE	DESCRIPTION
ľ			
ľ			
I			
I			
I			

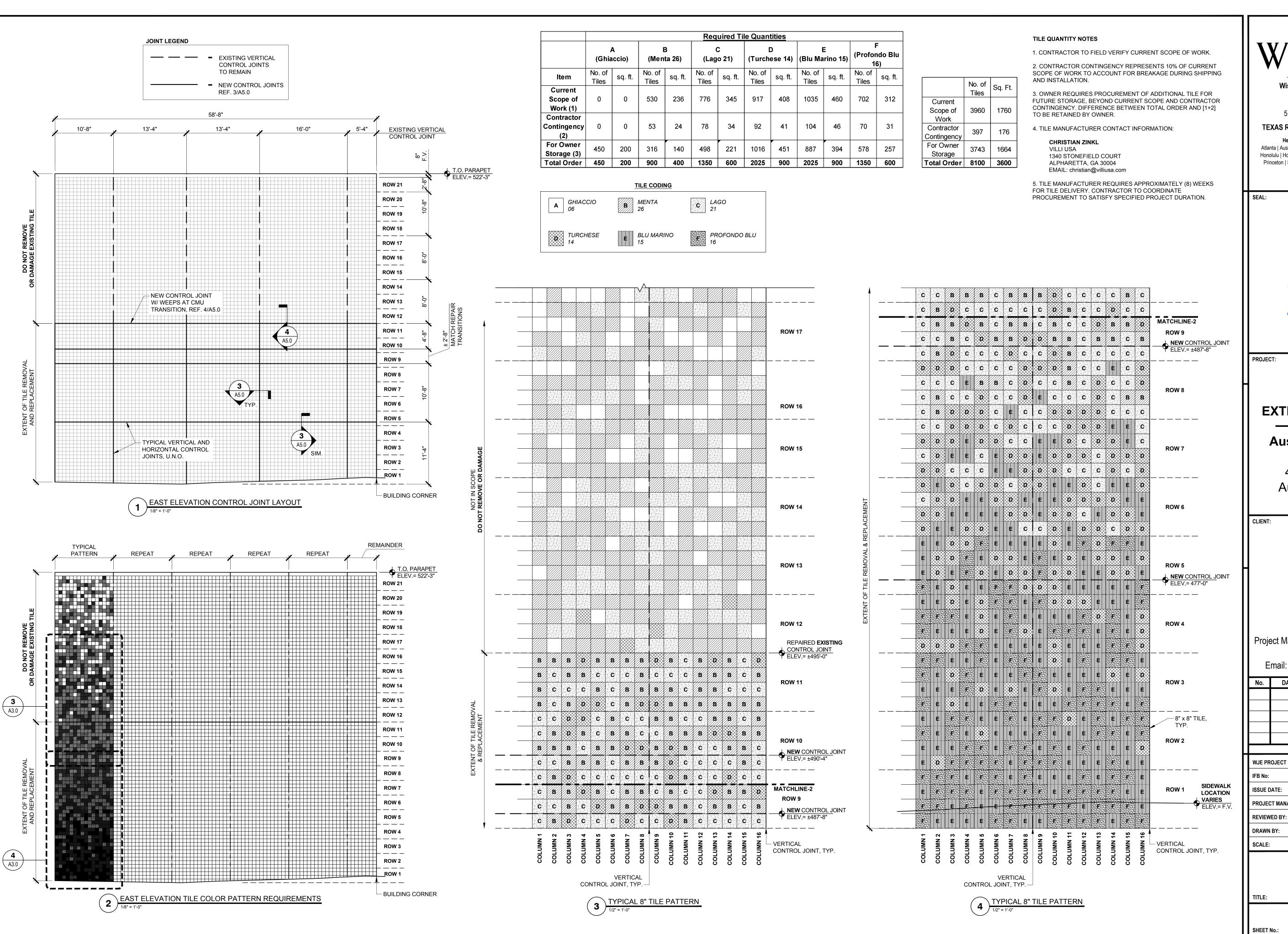
П	WJE PROJECT No.:	2016.2948.0
	IFB No:	CLMC 725A
	ISSUE DATE:	APRIL 29, 2019
	PROJECT MANAGER:	PAH
	REVIEWED BY:	MPC
	DRAWN BY:	FV
	SCALE:	AS NOTED

**SITE PLAN** 

TITLE

**A2.0** 

SHEET No.:



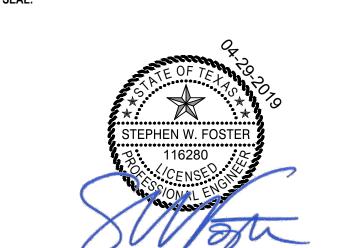
MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc. 9511 N. Lake Creek Parkway

Austin, Texas 78717 512.257.4800 tel | 512.219.9883 fax

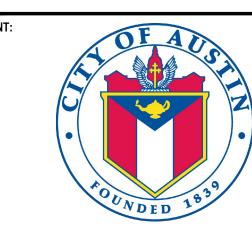
## **TEXAS REGISTERED ENGINEERING FIRM F-0093**

Headquarters & Laboratories: Northbrook, Illinois Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York Princeton | San Francisco | Seattle | South Florida | Washington, D.C.



# **EXTERIOR TILE REPAIR**

**Austin Energy District Cooling Plant II** 410 Sabine Street Austin, Texas 78704



# **Austin Energy**

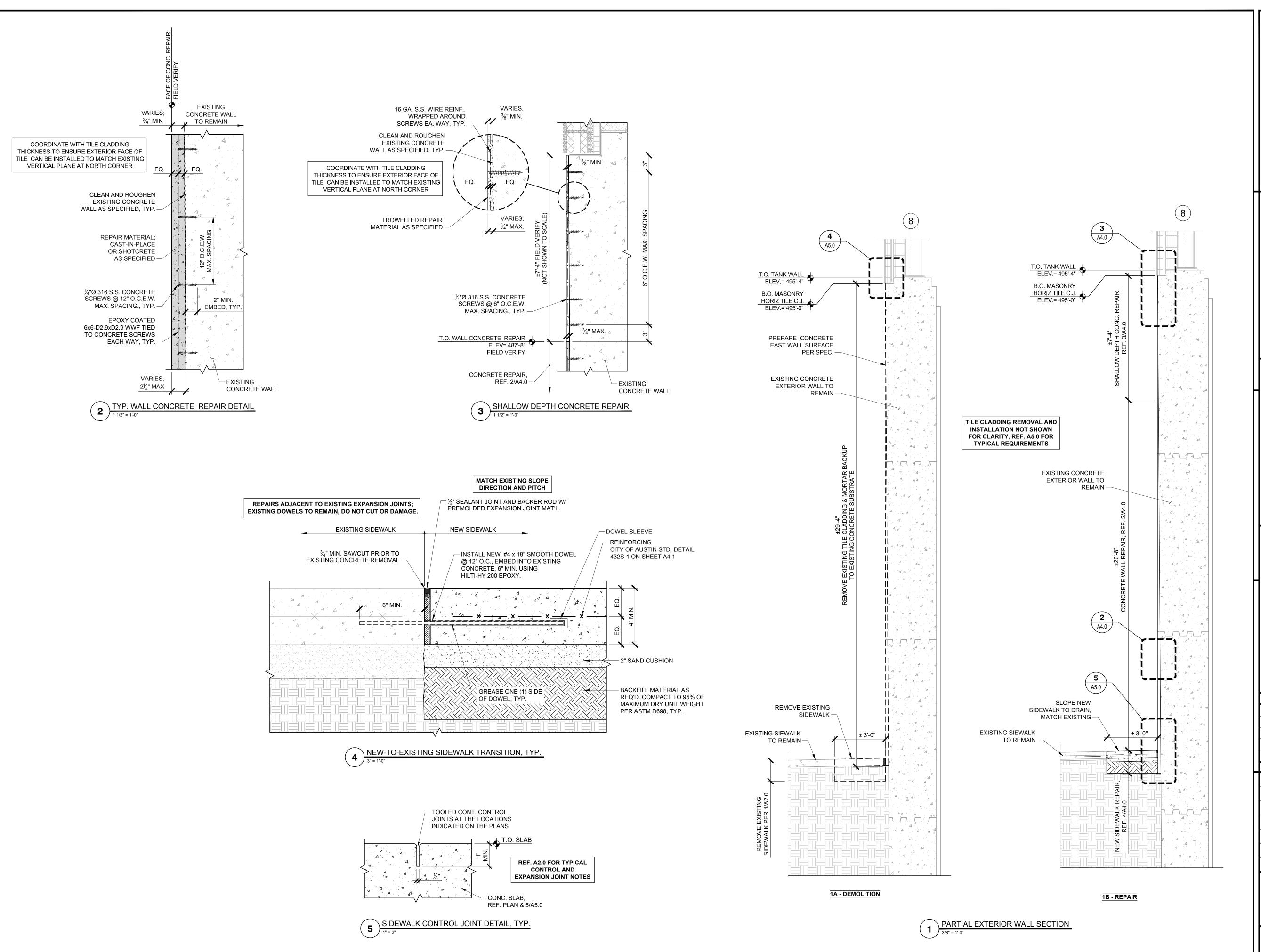
Project Manager: Mr. Bhasker Reddi, PE, PMP Ph. 512-972-9546 Email: bhasker.reddi@austinenergy.com

No.	DATE	DESCRIPTION

WJE PROJECT No.:	2016.2948.0
IFB No:	CLMC 725A
ISSUE DATE:	APRIL 29, 2019
PROJECT MANAGER:	PAH
REVIEWED BY:	MPC
DRAWN BY:	FV
SCALE:	AS NOTED

# **TILE PATTERN ELEVATIONS**

**A3.0** 

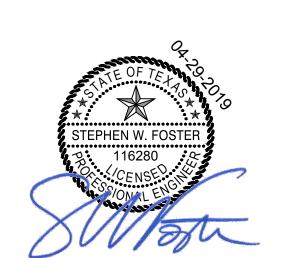


Wiss, Janney, Elstner Associates, Inc. 9511 N. Lake Creek Parkway

Austin, Texas 78717 512.257.4800 tel | 512.219.9883 fax

**TEXAS REGISTERED ENGINEERING FIRM F-0093** 

Headquarters & Laboratories: Northbrook, Illinois Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York Princeton | San Francisco | Seattle | South Florida | Washington, D.C.

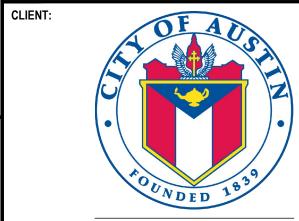


PROJECT:

# **EXTERIOR TILE REPAIR**

# **Austin Energy District Cooling Plant II** 410 Sabine Street

Austin, Texas 78704



# **Austin Energy**

Project Manager: Mr. Bhasker Reddi, PE, PMP Ph. 512-972-9546 Email: bhasker.reddi@austinenergy.com

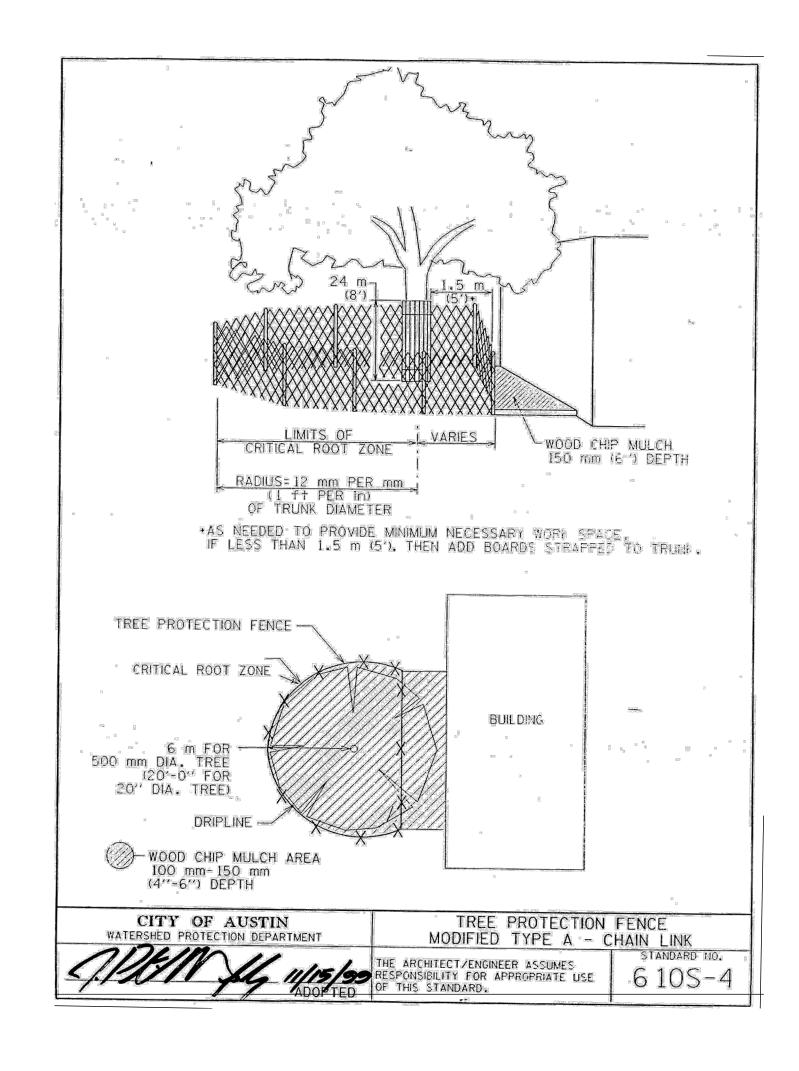
No.	DATE	DESCRIPTION

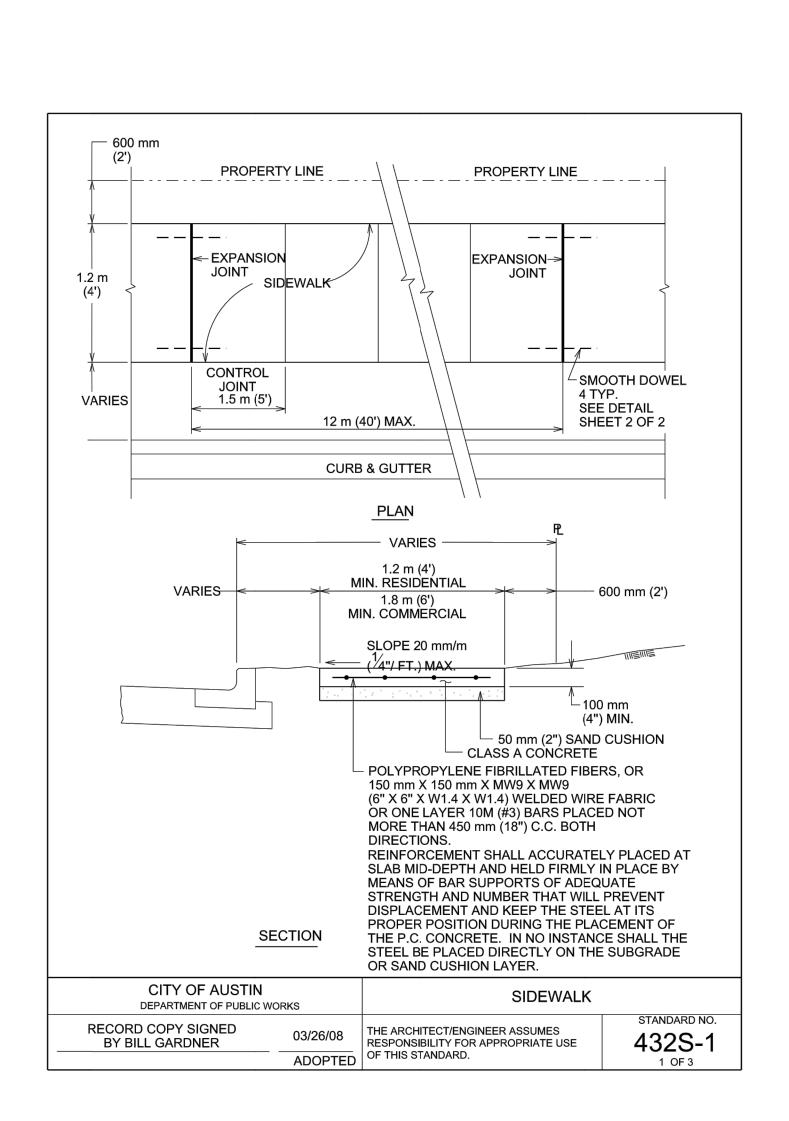
WJE PROJECT No.:	2016.2948.0
IFB No:	CLMC 725A
ISSUE DATE:	APRIL 29, 2019
PROJECT MANAGER:	PAH
REVIEWED BY:	MPC
DRAWN BY:	FV
SCALE:	AS NOTED

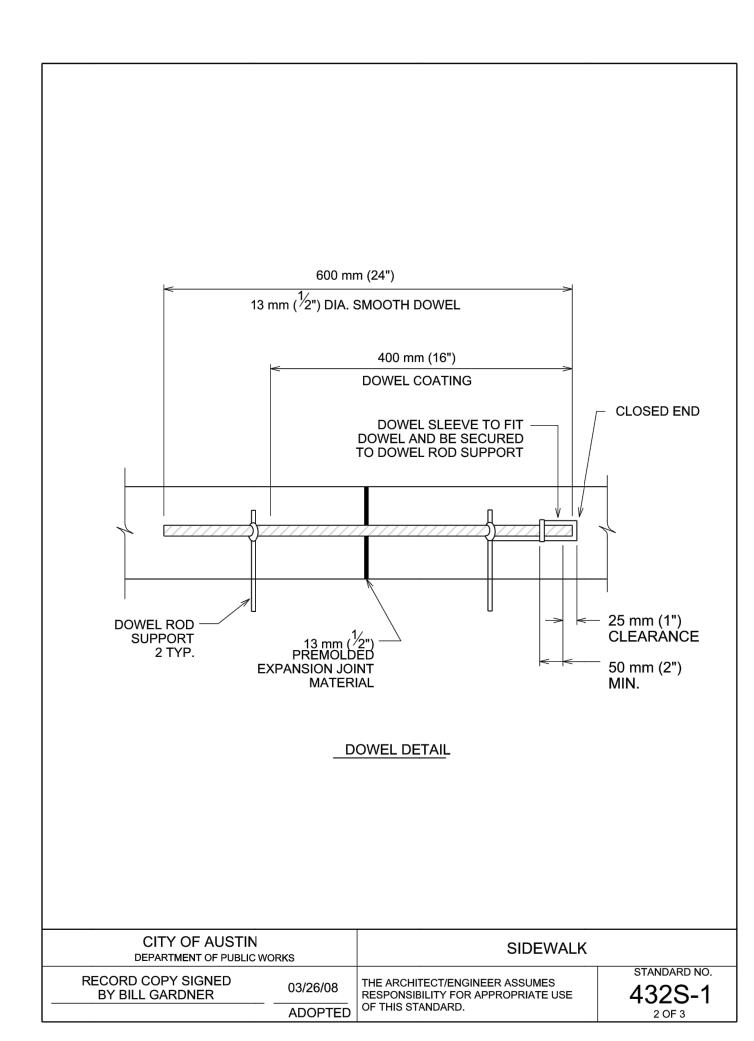
# **CONCRETE REPAIR DETAILS**

**A4.0** 

SHEET No.:









#### Wiss, Janney, Elstner Associates, Inc. 9511 N. Lake Creek Parkway

Austin, Texas 78717 512.257.4800 tel | 512.219.9883 fax

# **TEXAS REGISTERED ENGINEERING FIRM F-0093**

Headquarters & Laboratories: Northbrook, Illinois Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York Princeton | San Francisco | Seattle | South Florida | Washington, D.C.



PROJECT:

# **EXTERIOR TILE REPAIR**

# **Austin Energy District Cooling Plant II**

410 Sabine Street Austin, Texas 78704





# **Austin Energy**

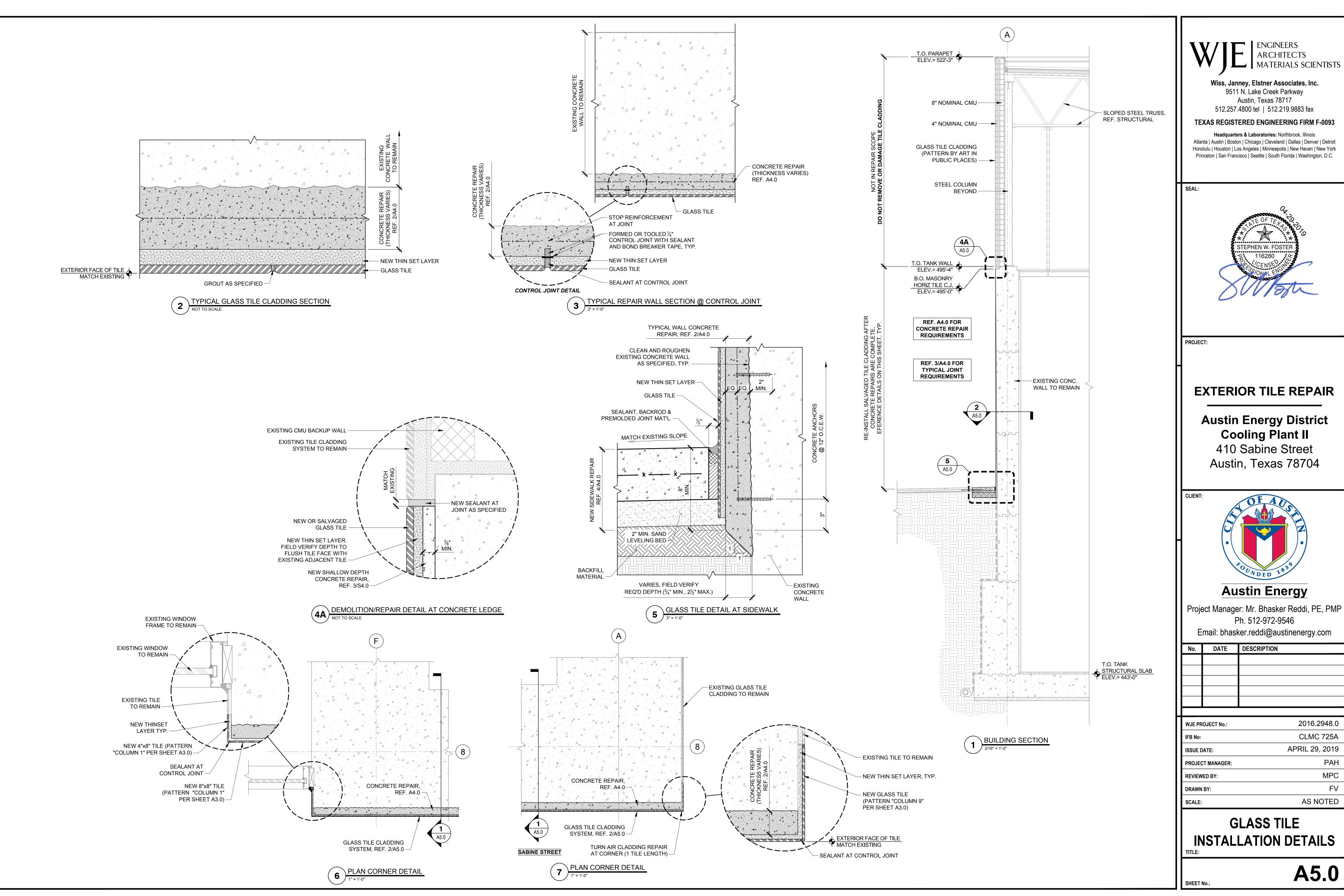
Project Manager: Mr. Bhasker Reddi, PE, PMP Ph. 512-972-9546 Email: bhasker.reddi@austinenergy.com

			37
No.	DATE	DESCRIPTION	

	WJE PROJECT No.:	2016.2948.0
	IFB No:	CLMC 725A
	ISSUE DATE:	APRIL 29, 2019
	PROJECT MANAGER:	PAH
	REVIEWED BY:	MPC
	DRAWN BY:	FV
ı	SCALE:	AS NOTED

# CITY OF AUSTIN STANDARD DETAILS

SHEET No.:



Wiss, Janney, Elstner Associates, Inc. 9511 N. Lake Creek Parkway

512.257.4800 tel | 512.219.9883 fax

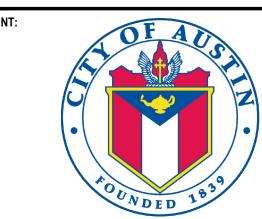
**TEXAS REGISTERED ENGINEERING FIRM F-0093** 

Headquarters & Laboratories: Northbrook, Illinois Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York Princeton | San Francisco | Seattle | South Florida | Washington, D.C.



# **EXTERIOR TILE REPAIR**

**Austin Energy District Cooling Plant II** 410 Sabine Street



Ph. 512-972-9546 Email: bhasker.reddi@austinenergy.com

No.	DATE	DESCRIPTION

WJE PROJECT No.:	2016.2948.0
IFB No:	CLMC 725A
ISSUE DATE:	APRIL 29, 2019
PROJECT MANAGER:	PAH
REVIEWED BY:	MPC
DRAWN BY:	FV
SCALE:	AS NOTED

# **GLASS TILE INSTALLATION DETAILS**

**A5.0**